

1 2 3 4 5 6 7

P

O

N

M

L

LOCATION MAP

The map shows a street grid with Montgomery Street running horizontally. To the north of Montgomery Street, there is a diagonal street labeled 'N. PARK STREET'. To the west of Montgomery Street, there are two vertical streets labeled 'N. GRAND STREET' and 'N. PARK STREET'. To the south of Montgomery Street, there is a horizontal street labeled 'MADISON STREET'. The proposed development is located on the east side of Montgomery Street, between N. Grand Street and N. Park Street. The map includes a north arrow pointing towards the top right and a scale bar labeled 'NO SCALE'.

NORTH

NO SCALE

8	9	10	11	12
APPLICABLE CODES				
THE BOCA NATIONAL BUILDING CODE, 1996 ADDITION N.F.P.A. 101, LIFE SAFETY CODE, 1991 EDITION				
<u>SAMUEL MADDEN HOMES</u>				
13 TWO STOREY BUILDINGS - 66 UNITS TOTAL				
- 26 2-BEDROOM TYPE A				
- 20 2 BEDROOM TYPE B				
- 20 3-BEDROOM				
USE GROUP CLASSIFICATION: R-3				
CONSTRUCTION TYPE CLASSIFICATION: 3A				

13	14	15	16
INDEX OF DRAWINGS			
TITLE SHEET			
T1	INDEX OF DRAWINGS, SYMBOLS, CODE ANALYSIS, ABBREVIATIONS, GENERAL NOTES AND VICINITY & LOCATION MAPS.		
<u>ARCHITECTURAL</u>			
A1	SITE PLAN - EXISTING/DEMOLITION		
A1A	SITE PLAN - NEW WORK		
A2	BUILDING ELEVATIONS, BUILDINGS I, III, & III @ VA 4-3d		
A3	BUILDING ELEVATIONS, BUILDINGS IV, & V @ VA 4-3d		
A4	BUILDING ELEVATIONS, BUILDINGS VI, VII, & VIII @ VA 4-3d		
A5	BUILDING ELEVATIONS, BUILDINGS I & III, @ VA 4-3c		
A6	BUILDING ELEVATIONS, BUILDINGS II, IV & V @ VA4-3c		
A7	TYPICAL UNIT FLOOR PLANS - DEMOLITION		
A8	TYPICAL UNIT FLOOR PLANS - NEW WORK		
A9	INTERIOR ELEVATIONS, SCHEDULES & DETAILS		
<u>MECHANICAL</u>			
M1	SCHEDULES, LEGEND, ABBREVIATIONS & NOTES		
M2	TYPICAL FLOOR PLANS - MECHANICAL DEMOLITION		
M3	TYPICAL FLOOR PLANS - MECHANICAL NEW WORK		
<u>ELECTRICAL</u>			



VICINITY MAP

J
I
H
G
F

WEST ST.
HENRY ST.
PATRICK ST.
ALFRED ST.
COLUMBUS ST.
WASHINGTON ST.
PITT ST.
ROYAL ST.
FAIRFAX ST.



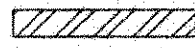








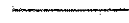
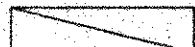
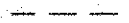
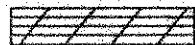
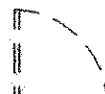




FIRST ST.
MONTGOMERY ST.
MADISON ST.
WYTHE ST.
PENDLETON ST.
ORONOCO ST.
PRINCESS ST.

NORTH
NO SCALE

GENERAL NOTES

1. DO NOT SCALE THE DRAWINGS.
2. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION, CONSTRUCTION AND FABRICATION OF ANY ITEM.
3. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, INCLUDING EXISTING WATER, SEWER AND STORM MAINS PRIOR TO BEGINNING HIS WORK AND SHALL MAKE CERTAIN THAT ALL CONNECTIONS AND NEW CONSTRUCTION CAN BE MADE. NOTIFY THE CONTRACTING OFFICER AT ONCE OF ANY PROBLEMS.
4. THE CONTRACTOR SHALL PRESERVE, TAKE CARE OF AND COORDINATE WITH THE UTILITY COMPANIES, ALL EXISTING UNDERGROUND UTILITIES DURING DEMOLITION AND/OR CONSTRUCTION PHASE.
5. THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON ALL ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL TRADES.
6. ALL DIMENSIONS ARE TO FINISH FACE UNLESS OTHERWISE NOTED.
7. TESTING HAS BEEN CONDUCTED FOR LEAD-BASED PAINT (LBP) AND ASBESTOS CONTAINING MATERIALS (ACM.) AREAS FOUND TO CONTAIN LBP AND ACM HAVE BEEN INDICATED ON A REPORT ON FILE AT THE ALEXANDRIA REDEVELOPMENT AND HOUSING AUTHORITY (ARHA.) HOWEVER, IF SUSPECT LBP'S AND ACM'S ARE ENCOUNTERED IN AREAS NOT INDICATED TO CONTAIN THESE MATERIALS, DEMOLITION ACTIVITIES SHALL CEASE AND BULK LBP AND ACM SAMPLING SHALL BE CONDUCTED. IF THE MATERIALS SAMPLED ARE DETERMINED NECESSARY FOR REMOVAL THEN THE CONTRACTOR SHALL ADHERE TO THE SPECIFICATIONS AND THE REQUIREMENTS OF SPECIFICATION SECTION 02090 FOR THE REMOVAL AND DISPOSAL OF LEAD BASED PAINT AND TO SECTION 02085 FOR ASBESTOS ABATEMENT PROCEDURES.
8. CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER IN THE EVENT ANY UNFORSEEN PRE-EXISTING CONDITIONS ARE DISCOVERED PRIOR TO CONTINUING WORK.

SYMBOLS/LEGEND

E		C.M.U.		DRAWING NUMBER DETAIL LOCATION
		STEEL		KEYNOTE / DEMOLITION KEYNOTE
		EARTH		PARTITION TYPE
D		BATT INSULATION		NEW DOOR
		CONCRETE		INTERIOR ELEVATION NUMBER DRAWING LOCATION
		GRAVEL		TO REMAIN
C		WOOD BLOCKING		TO BE REMOVED
		PLYWOOD		DOOR TO BE REMOVED
		GYPSUM BOARD		NEW DOOR
B		ACOUSTIC TILE,		NEW PARTITION
A				

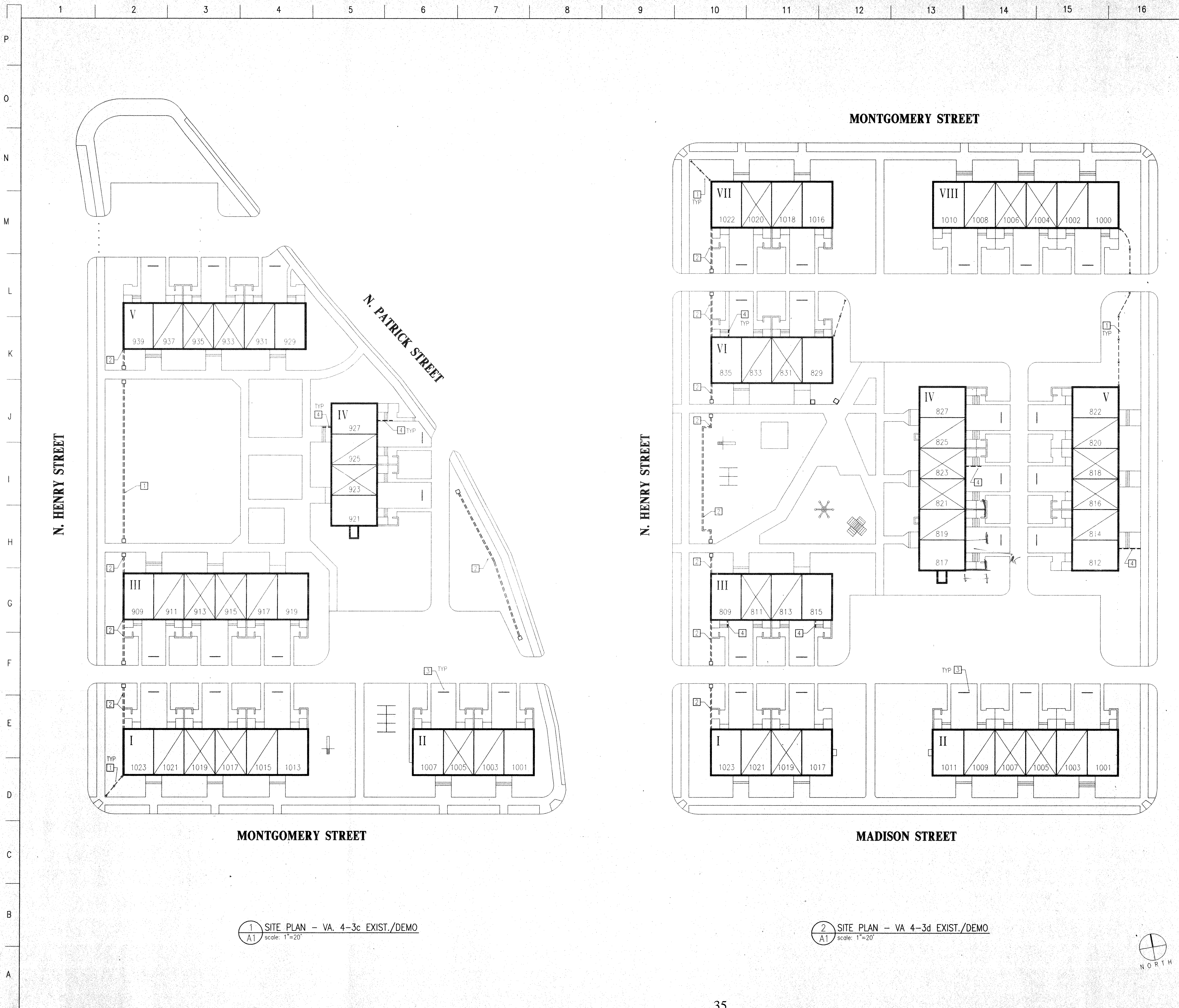
ABBREVIATIONS

©	AT	MACH.	MACHINE
A.F.F.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
BOT.	BOTTOM	MECH.	MECHANICAL
CL	CENTERLINE	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
CLOS.	CLOSET	NO.	NUMBER
D.A.	DISABLED ACCESSIBLE	N.T.S.	NOT TO SCALE
DIA.	DIAMETER	O.C.	ON CENTER
DN.	DOWN	PLAM.	PLASTIC LAMINATE
DWGS.	DRAWINGS	R.	RISER
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATION	SIM.	SIMILAR
EQ.	EQUAL	TEL.	TELEPHONE
EXIST.	EXISTING	T.O.M.	TOP OF MASONRY
GA.	GAGE	T.O.S.	TOP OF SLAB
H.C.	HANDICAP	T.O.W.	TOP OF WALL
KIT.	KITCHEN	TYP.	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED

34

BID ITEMS	
<p>BASE BID ITEMS SHALL BE THE ENTIRE WORK, COMPLETE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS BUT NOT INCLUDING WORK INDICATED OR SPECIFIED TO BE PROVIDED UNDER THE ADDITIVE BID ITEM STATED BELOW.</p>	
<p><u>ADDITIVE BID ITEM</u></p>	
<p>1. PROVIDE ALL ARCHITECTURAL AND ELECTRICAL WORK ASSOCIATED WITH SITE IMPROVEMENTS INCLUDING THE FOLLING:</p>	
<ul style="list-style-type: none">- DECORATIVE FENCING- CONTROL FENCING- SEEDING/LANDSCAPING- DRYING RACKS- NEW MASSONRY INDIVIDUAL UNIT PRIVACY WALLS- MASONRY REPAIR ON PRIVACY WALLS.- STEP HANDRAILS- BUILDING/SITE LIGHTING.	

Rev Number	Description	Date
Revisions		
SORG AND ASSOCIATES, P.C. 1500 K Street, N.W. Suite 610 Washington, D.C. 20005 (202) 393-6445 Fax (202) 393-6497		
Drawing Title		
INDEX OF DWGS., SYMBOLS, CODE ANALYSIS, NOTES		
Drawing Number	Scale	Phone <input type="checkbox"/> CONCEPT <input type="checkbox"/> SEE <input type="checkbox"/> END <input type="checkbox"/> SEE <input type="checkbox"/> REE <input type="checkbox"/> FUEL
NTS		Sheet Number
<div style="border: 1px solid black; border-radius: 50%; padding: 10px; text-align: center; width: 150px; margin: 0 auto;"> COMMONWEALTH OF VIRGINIA SURVEY SORGS No. Design ARCHITECT </div>		<div style="text-align: center;"> Date 07/18/97 Drawn by NP/BLUE Checked by HRC Project Number SORG # 9619 </div>
		T1



**THE ALEXANDRIA
REDEVELOPMENT AND
HOUSING AUTHORITY**

**600 North Fairfax Street
Alexandria, VA 22314**

**Capital Improvements At
One Public Housing
Community**

**VA 4-3c&d
Samuel Madden
Homes**

KEY NOTES

- 1 REMOVE ALL EXISTING CHAIN LINK FENCE TYPICAL.
- 2 REMOVE MASONRY PRIVACY WALL IN ITS ENTIRETY. (INCLUDING CONC SLAB, FOOTING, ETC.) DO NOT DISTURB ADJACENT INDIVIDUAL UNIT MASONRY PRIVACY WALLS.
- 3 SCRAPE OFF EXISTING PAINT FROM CLOTHES DRYING RACKS. REPLACE STRING AND METAL FASTENERS - TYPICAL THROUGHOUT.
- 4 REMOVE EXISTING HANDRAIL IN ITS ENTIRETY. CONTRACTOR TO VERIFY EXACT LOCATION. PATCH CONCRETE STEPS @ DAMAGED LOCATION WHERE HANDRAIL IS REMOVED.

GENERAL NOTE

- 1. REMOVE ALL EXISTING SCREEN DOORS IN ITS ENTIRETY (45 TOTAL) CONTRACTOR TO VERIFY LOCATION IN FIELD.
- 2. EXISTING BOLLARDS TO REMAIN.
- 3. EXISTING SIDEWALK CURB CUTS TO REMAIN.
- 4. EXISTING PLAY EQUIPMENT TO REMAIN.

LEGEND

3 BEDROOM UNIT

III	809	811	813
-----	-----	-----	-----

2 BEDROOM UNIT-TYPE B

2 BEDROOM UNIT-TYPE A

----- TO BE REMOVED

Rev Number	Description	Date
Revisions		

SORG AND ASSOCIATES, P.C.
1500 K Street, N.W.
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Washington, D.C. 20005
(202) 393-6445 Fax (202) 393-6497

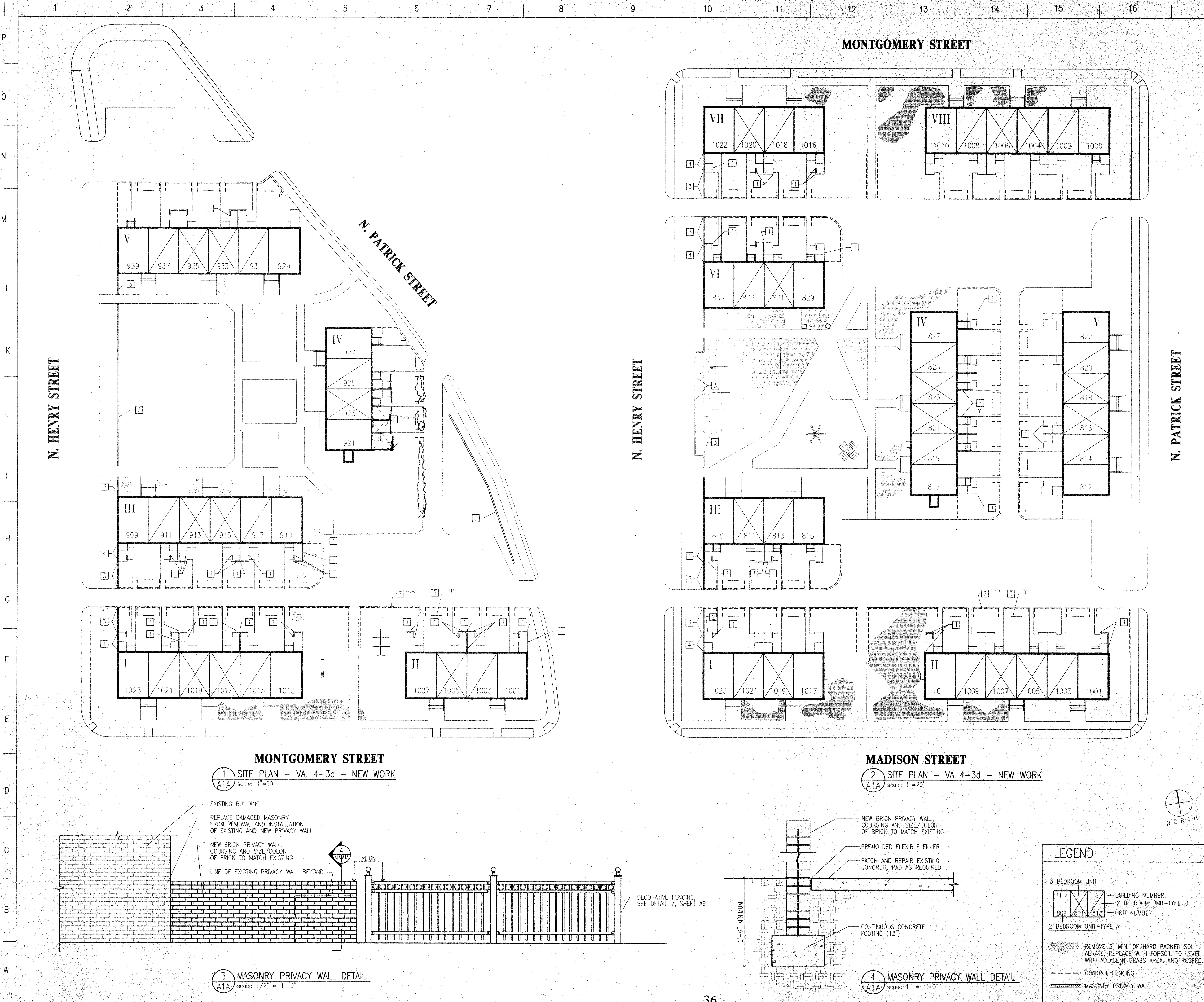
**SITE PLAN
DEMOLITION/EXISTING**

Drawing Number	Scale	Phase	Date	Sheet Number
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Drawn By		NP/ID/BLUE		
Checked By		HRC		
Project Number		SORG # 9619		

Seal of SORG AND ASSOCIATES, P.C. ARCHITECT, No. 006479, State of Virginia

1 SITE PLAN - VA. 4-3c EXIST./DEMO
scale: 1"=20'

2 SITE PLAN - VA 4-3d EXIST./DEMO
scale: 1"=20'





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Samuel Madden
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KEY NOTES

1. PATCH AND REPAIR ALL LARGE CRACKS, MISSING BRICK AND/OR MORTAR @ EXTERIOR MASONRY WALLS. 100 SF (TOT) OF REPAIR AND 200 LF (TOTAL) OF CRACK REPAIR. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
2. NEW LOCATION OF EXTERIOR WALL MOUNTED ENTRANCE LIGHT FIXTURE.
3. RELOCATE DOWNSPOUT FOR INSTALLATION OF SHUTTER.
4. NEW HANDRAIL AND GUARD RAIL TYPICAL @ EXTERIOR STAIR WHERE NUMBER OF RISERS ARE THREE OR MORE AND 30" ABOVE GRADE, RESPECTIVELY. REFER TO DETAIL 8/A9.

GENERAL NOTES

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3. REMOVE ALL ADDRESS PLATES AND REPLACE WITH NEW ADDRESS PLATES. INSTALL DIRECTLY BELOW NEW ENTRANCE LIGHT FIXTURE.

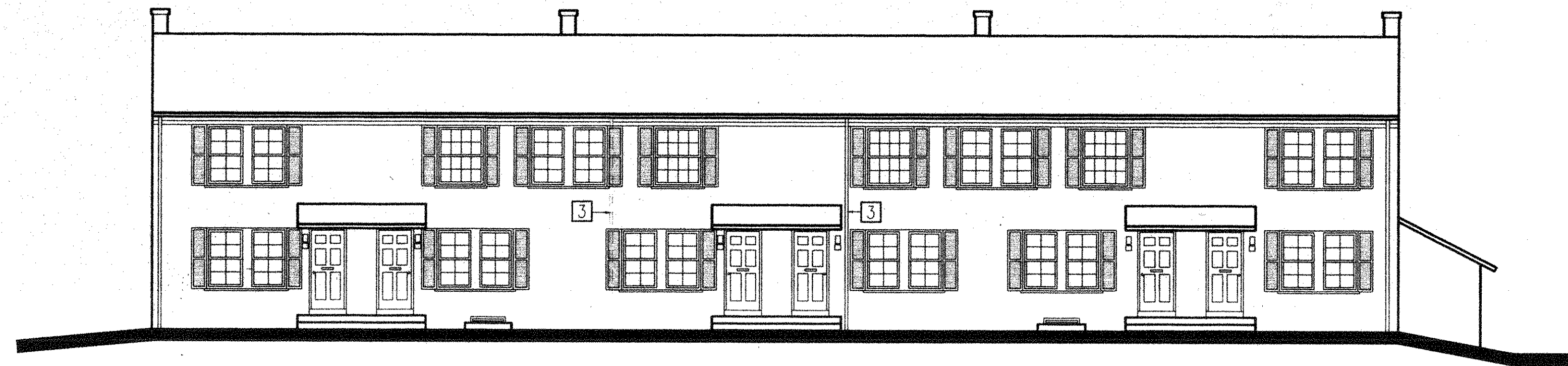
LEGEND

EXTERIOR MASONRY WALL
TO BE PATCHED AND REPAIRED

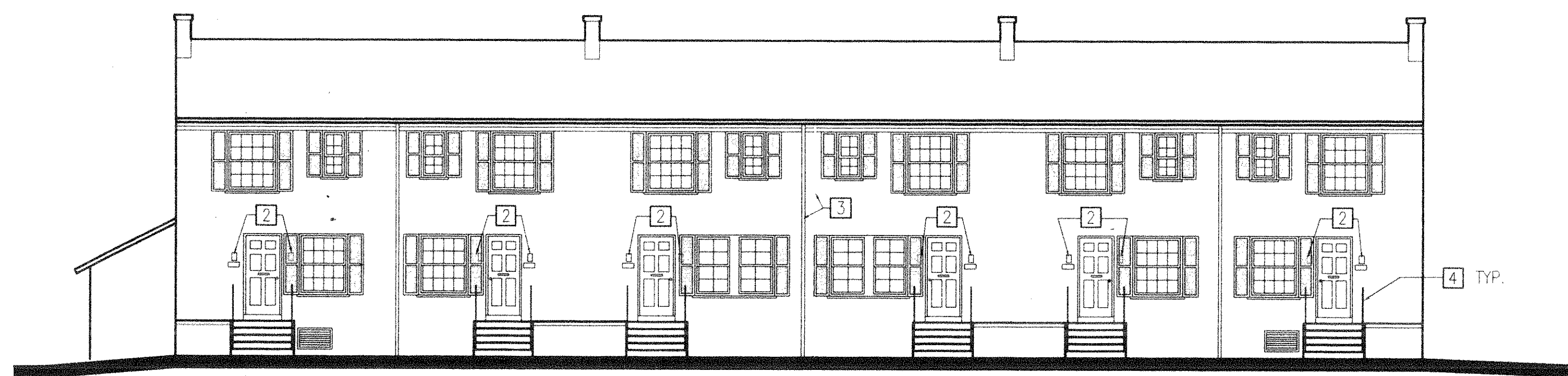
SORG AND ASSOCIATES, P.C.
1500 K Street, N.W.
Suite 610
Washington, D.C. 20005
(202) 393-6445 Fax (202) 393-6497

**BUILDING ELEVATIONS
BLDS. I, II, III, @ VA. 4-3d**

Drawing Number	Scale	Phase	Date	Sheet Number
A2	AS NOTED	CONCEPT	7/18/97	A2
Drawn By	NP/BLUE	Checked By	SS	
Project Number	SORG # 9619			



1 WEST ELEVATION - BUILDING IV
A3 scale: 1/8" = 1'-0"



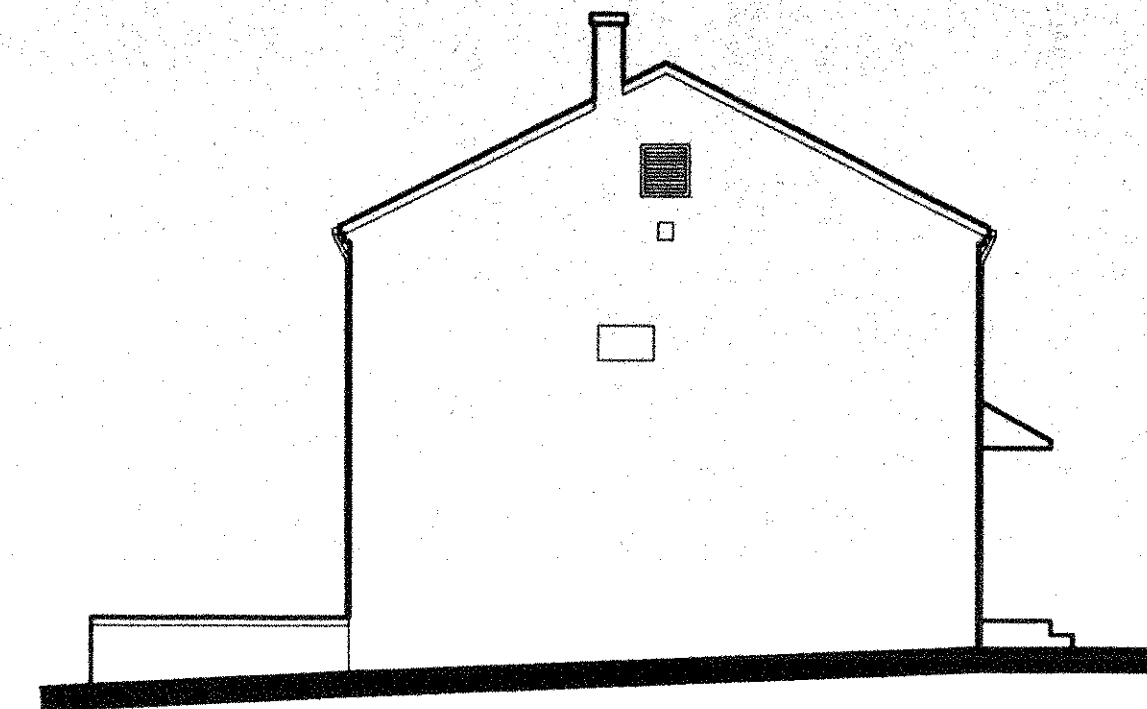
3 EAST ELEVATION - BUILDING IV
A3 scale: 1/8" = 1'-0"



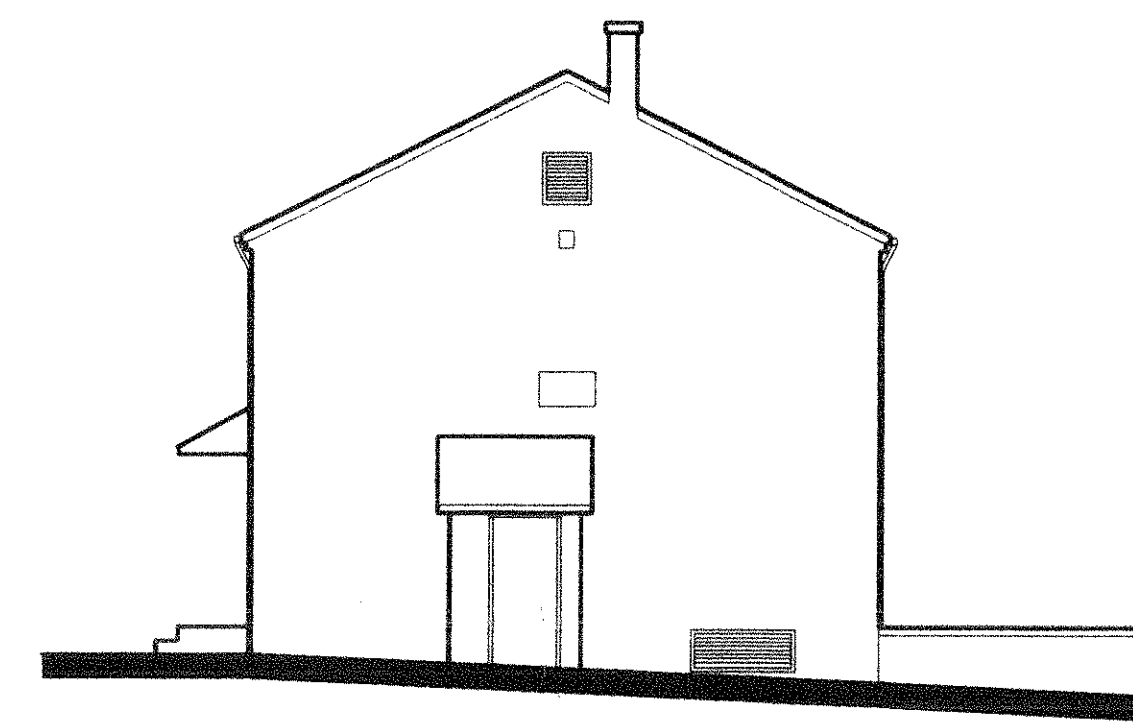
5 WEST ELEVATION - BUILDING V
A3 scale: 1/8" = 1'-0"



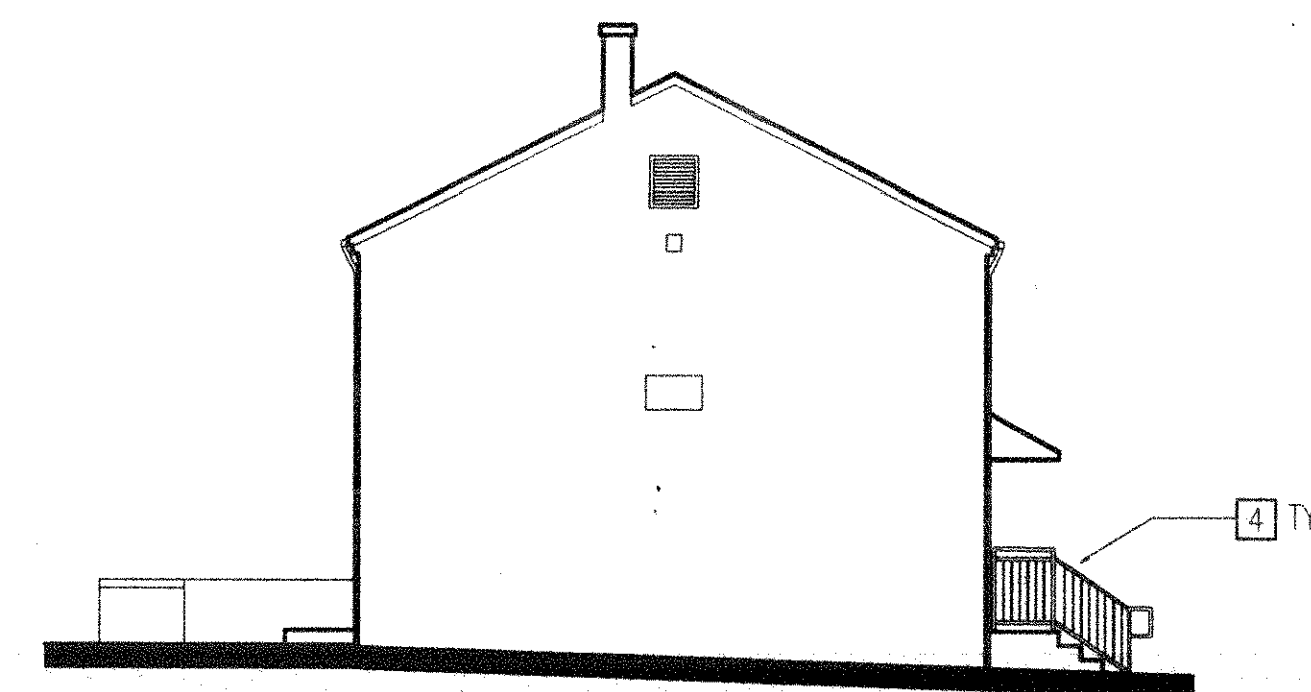
7 EAST ELEVATION - BUILDING V
A3 scale: 1/8" = 1'-0"



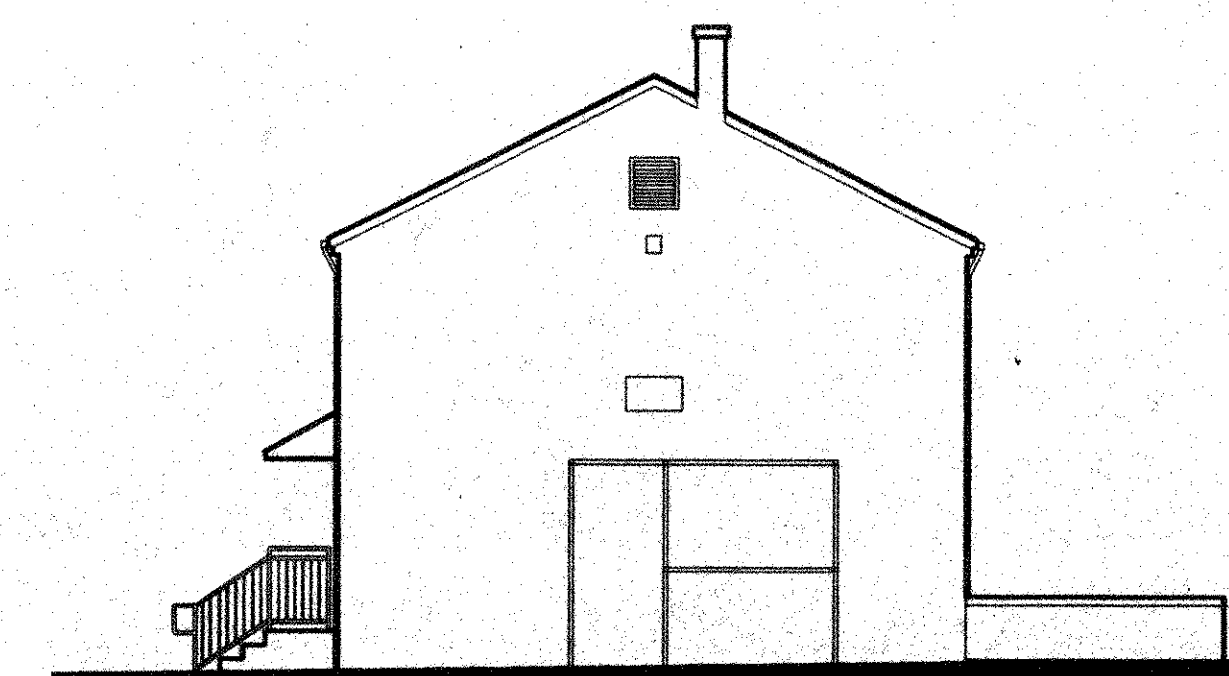
2 NORTH ELEVATION - BUILDING IV
A3 scale: 1/8" = 1'-0"



4 SOUTH ELEVATION - BUILDING IV
A3 scale: 1/8" = 1'-0"



6 SOUTH ELEVATION - BUILDING V
A3 scale: 1/8" = 1'-0"



8 NORTH ELEVATION - BUILDING V
A3 scale: 1/8" = 1'-0"



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Samuel Madden
Homes**

KEY NOTES

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- 2 NEW LOCATION OF EXTERIOR WALL MOUNTED ENTRANCE LIGHT FIXTURE.
- 3 RELOCATE DOWNSPOUT FOR INSTALLATION OF SHUTTER.
- 4 NEW HANDRAIL AND GUARD RAIL TYPICAL @ EXTERIOR STAIR WHERE NUMBER OF RISERS ARE THREE OR MORE AND 30" ABOVE GRADE, RESPECTIVELY. REFER TO DETAIL 8/A9.
- 5 REMOVE EXISTING DOWNSPOUT AND PROVIDE NEW DOWNSPOUT TO ACCOMMODATE NEW SHUTTERS.

GENERAL NOTES

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3. REMOVE ALL ADDRESS PLATES AND REPLACE WITH NEW ADDRESS PLATES. INSTALL DIRECTLY BELOW NEW ENTRANCE LIGHT FIXTURE.

LEGEND

EXTERIOR MASONRY WALL TO BE PATCHED AND REPAIRED

SORG AND ASSOCIATES, P.C.
1500 K Street, N.W.
Suite 610
Washington, D.C. 20005
(202) 393-6445 Fax (202) 393-6497

Drawing Title
**BUILDING ELEVATIONS
BLDS. IV & V @ VA. 4-3d**

Drawing Number Scale Phase
AS NOTED

Date 7/18/97
Drawn By NP/BLUE
Checked By SS
Project Number SORG # 9619
A3



ARHA

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Samuel Madden
Homes**

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BUILDING ELEVATIONS
BLD.VI,VII &VIII@VA 4-3d

Drawing Number: **AS NOTED** Scale: **AS NOTED** Date: **7/18/97** Sheet Number: **A4**

Drawn By: **NP/BLUE** Checked By: **SS**

Project Number: **SORG # 9619**



1 SOUTH ELEVATION — BUILDING I
A5 scale: 1/8" = 1'-0"



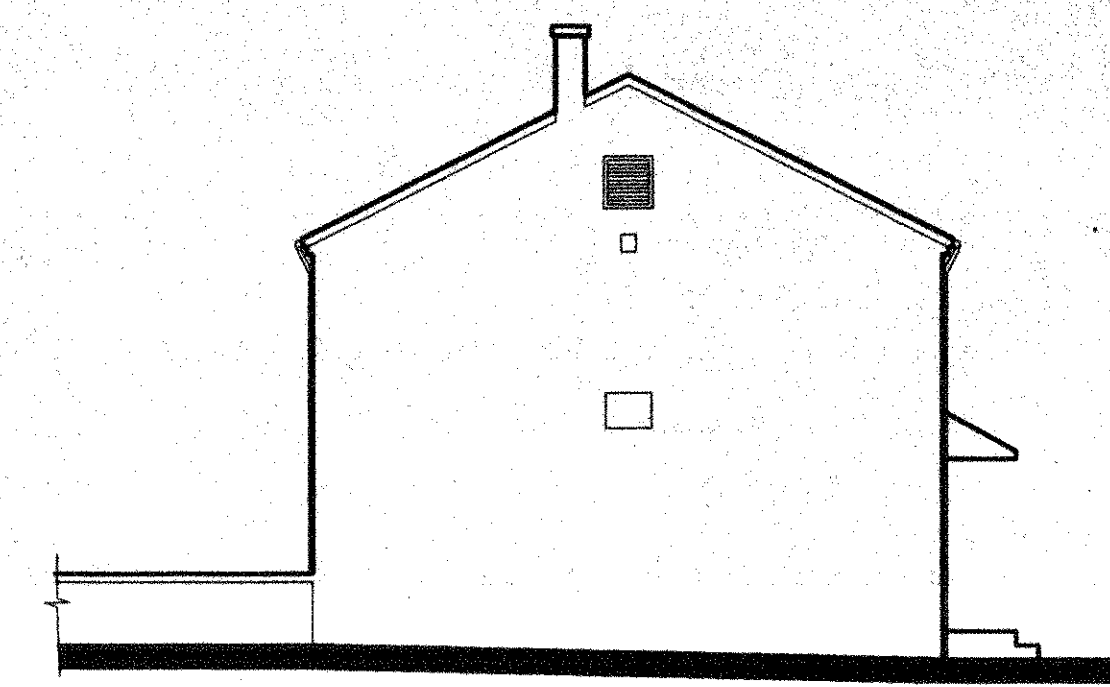
3 NORTH ELEVATION — BUILDING I
A5 scale: 1/8" = 1'-0"



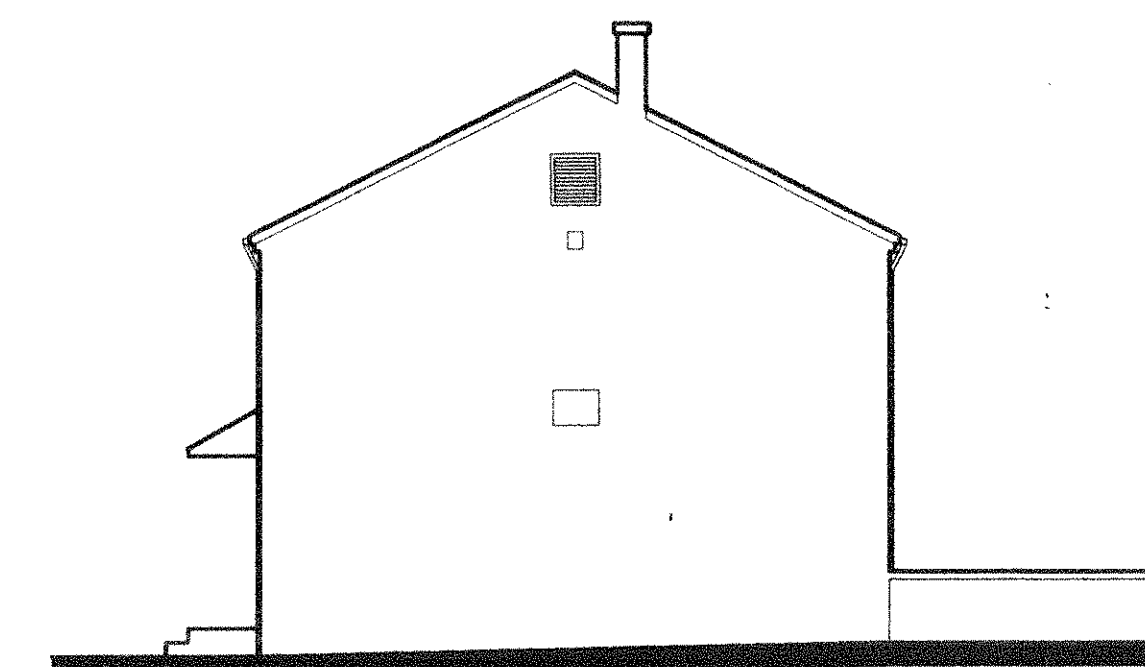
5 SOUTH ELEVATION — BUILDING III
A5 scale: 1/8" = 1'-0"



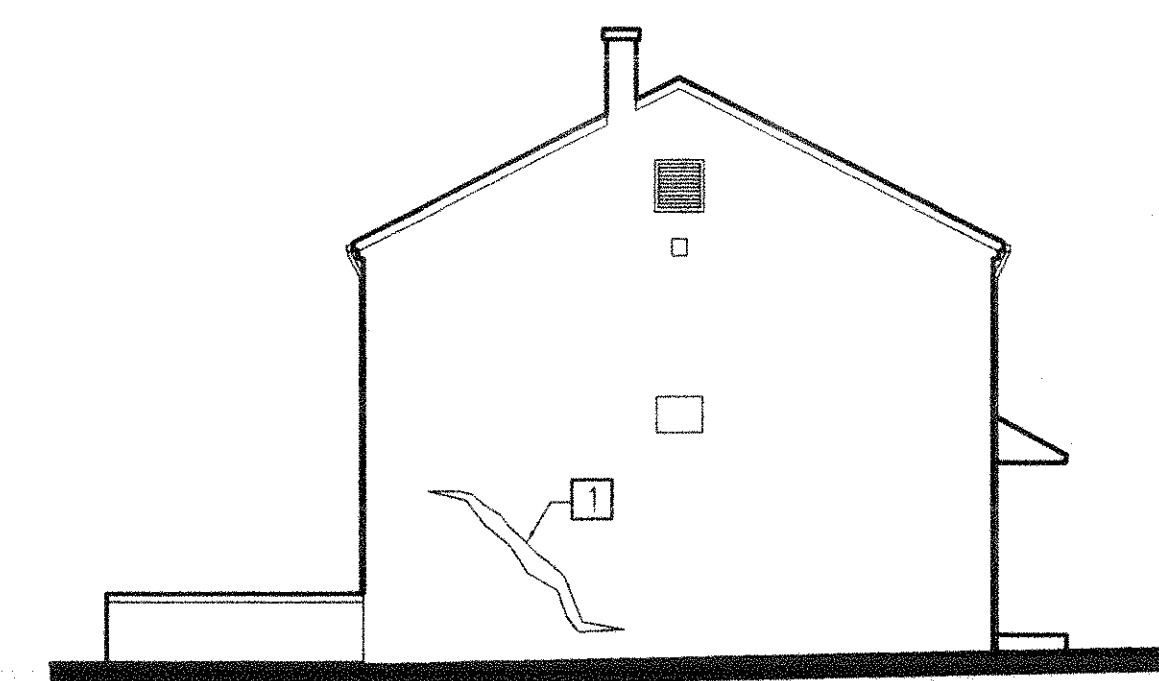
7 NORTH ELEVATION — BUILDING III
A5 scale: 1/8" = 1'-0"



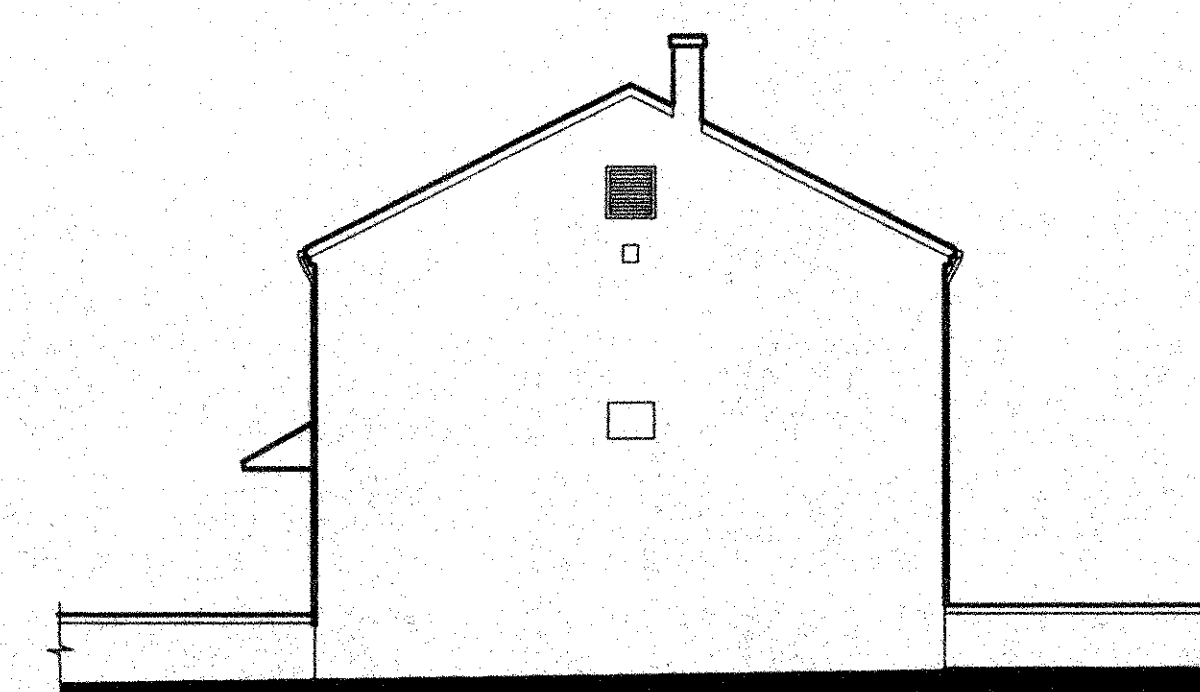
2 WEST ELEVATION — BUILDING I
A5 scale: 1/8" = 1'-0"



4 EAST ELEVATION — BUILDING I
A5 scale: 1/8" = 1'-0"



6 EAST ELEVATION — BUILDING III
A5 scale: 1/8" = 1'-0"



8 WEST ELEVATION — BUILDING III
A5 scale: 1/8" = 1'-0"



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LEGEND

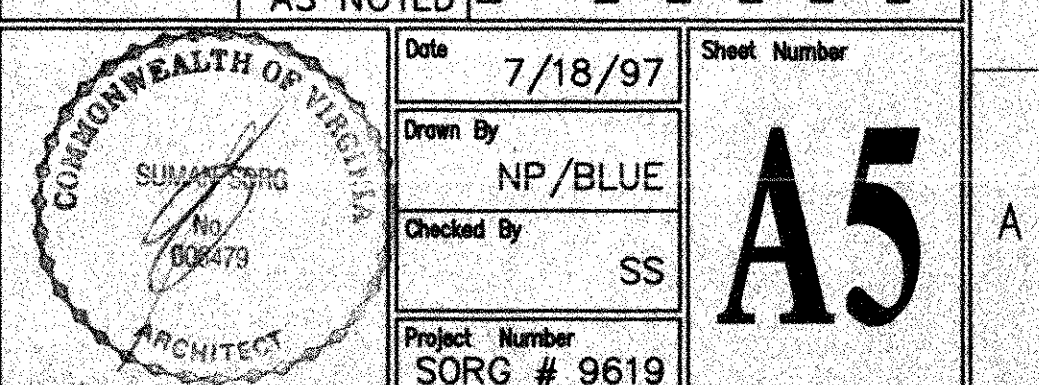
EXTERIOR MASONRY WALL TO BE PATCHED AND REPAIRED

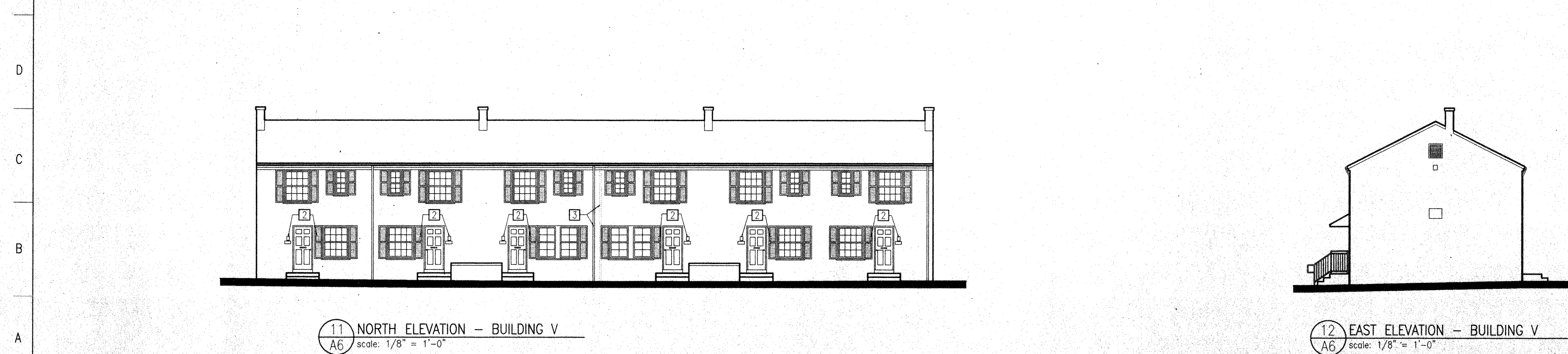
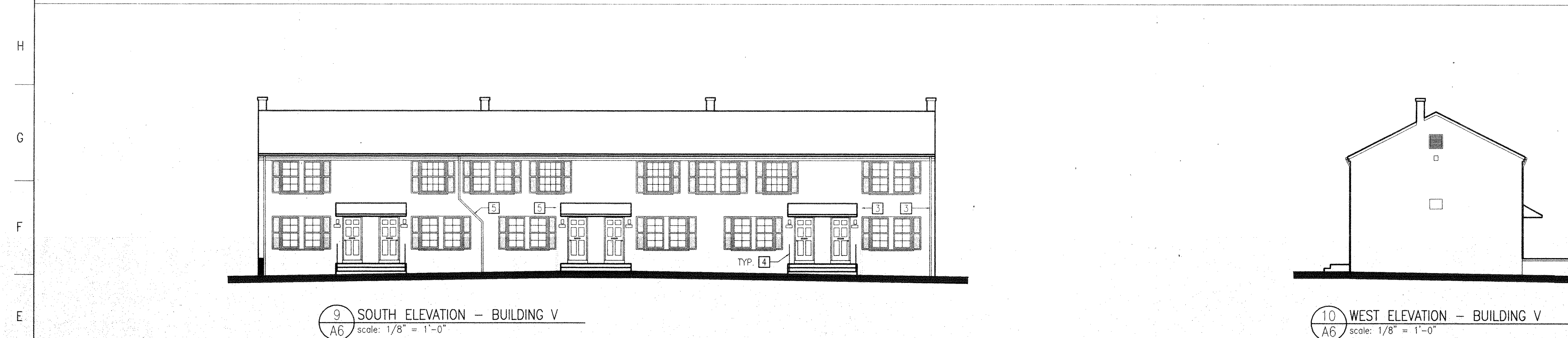
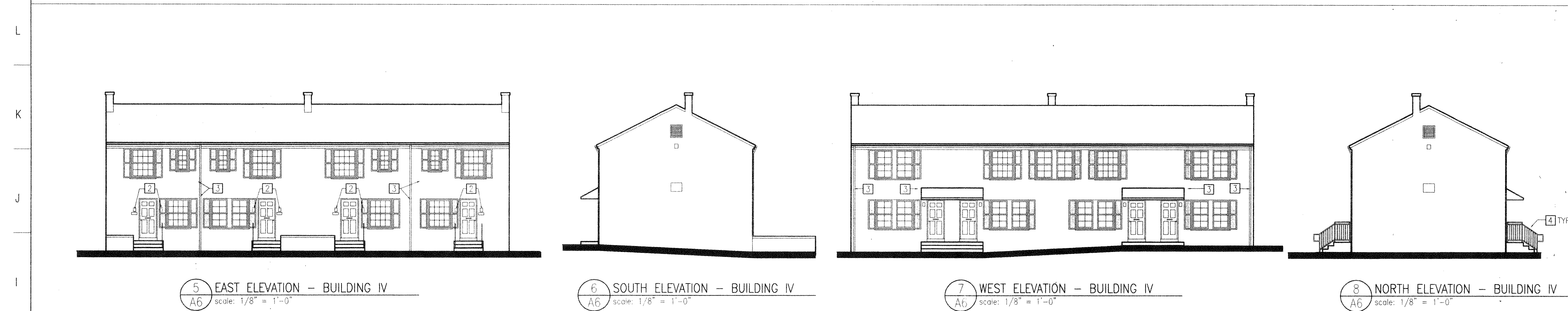
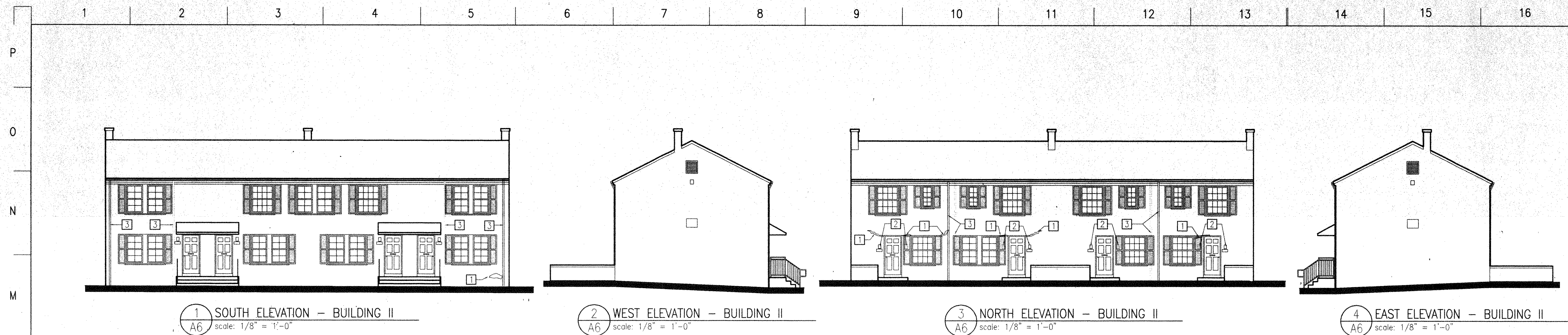
SORG AND ASSOCIATES, P.C.

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Washington, D.C. 20005
(202) 393-6445 Fax (202) 393-6497**

**Drawing Title
BUILDING ELEVATIONS
BLDGS. I&III @ VA. 4-3c**

Drawing Number	Scale	Phase	Date	Sheet Number
		AS NOTED	7/18/97	
Drawn By		NP/BLUE		
Checked By		SS		
Project Number		SORG # 9619		





THE ALEXANDRIA REDEVELOPMENT AND HOUSING AUTHORITY

600 North Fairfax Street
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Capital Improvements At One Public Housing Community

VA 4-3c&d
Samuel Madden
Homes

KEY NOTES

- 1 PATCH AND REPAIR ALL LARGE CRACKS, MISSING BRICK AND/OR MORTAR @ EXTERIOR MASONRY WALLS. 100 SF (TOTAL) OF REPAIR AND 200 LF (TOTAL) OF CRACK REPAIR. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 2 NEW LOCATION OF EXTERIOR WALL MOUNTED ENTRANCE LIGHT FIXTURE.
- 3 RELOCATE DOWNSPOUT FOR INSTALLATION OF SHUTTER.
- 4 NEW HANDRAIL AND GUARD RAIL TYPICAL @ EXTERIOR STAIR WHERE NUMBER OF RISERS ARE THREE OR MORE AND 30" ABOVE GRADE, RESPECTIVELY. REFER TO DETAIL 8/A9.
- 5 REMOVE EXISTING DOWNSPOUT AND PROVIDE NEW DOWNSPOUT TO ACCOMMODATE NEW SHUTTERS.

GENERAL NOTES

1. REMOVE ALL EXISTING SCREEN DOORS (45 TOTAL). CONTRACTOR TO VERIFY EXACT QUANTITY AT FIELD. SCREEN DOORS NOT SHOWN FOR CLARITY.
2. REMOVE EXISTING EXTERIOR WALL MOUNTED ENTRANCE LIGHT AND REPLACE WITH NEW LIGHT FIXTURE TYPICAL @ EACH ENTRANCE. INSTALL @ ORIGINAL LOCATION U.O.N. DUE TO CONFLICT WITH SHUTTERS. REFER TO ELECTRICAL DRAWINGS.
3. REMOVE ALL ADDRESS PLATES AND REPLACE WITH NEW ADDRESS PLATES. INSTALL DIRECTLY BELOW NEW ENTRANCE LIGHT FIXTURE.

LEGEND

EXTERIOR MASONRY WALL
TO BE PATCHED AND REPAIRED

SORG AND ASSOCIATES, P.C.
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Drawing Title
**BUILDING ELEVATIONS
BLDGs. II, IV & V @ VA. 4-3C**

Drawing Number Scale AS NOTED

Date 7/18/97
Drawn By NP/BLUE
Checked By SS
Project Number SORG # 9619

Sheet Number
A6

Laser Scanning

Comment: Suggested laser scanning including not only the buildings but the site as well. That will capture the context including the paths and spaces around the site.

Response: The development team is investigating options for laser scanning per the BAR's recommendation. Would like to clarify options for laser scanning considering the repetitive nature of the buildings. Should the laser scan include the exterior of only one building – or all the buildings? There is mixed success laser scanning landscape, especially if 3D. Any scans will pick up plantings and walkways, as well as fencing, personal items, cars, and other items on the site. A measured 2D site plan would likely be the most successful way to document the existing landscape and landscape features without including unrelated objects.

Documentation

Comment: HABS and Potentially HALS documentation with formal submittals to the Library of Congress. This was a problem with Ramsey.

Response: EHT Tracerics will complete Historic American Buildings Survey documentation with a formal submittal to Library of Congress with copies to the Alexandria Barrett Branch Library Local History/Special Collections, the City of Alexandria Archives and Records Center, and others as may be appropriate.

Tracerics will complete the HABS outline format documentation, which includes documentation of the site and setting, including a description of the historic landscape design (layout, character, plantings, and walks of original or historic landscape treatments). Given the simplicity of the original landscape, HALS documentation is not recommended.

A HABS photographer will take large format 4x5 pictures of interiors, exteriors, and the site. Historic drawings will also be included in the HABS submittal. New drawings generated from the laser scan may also be included.

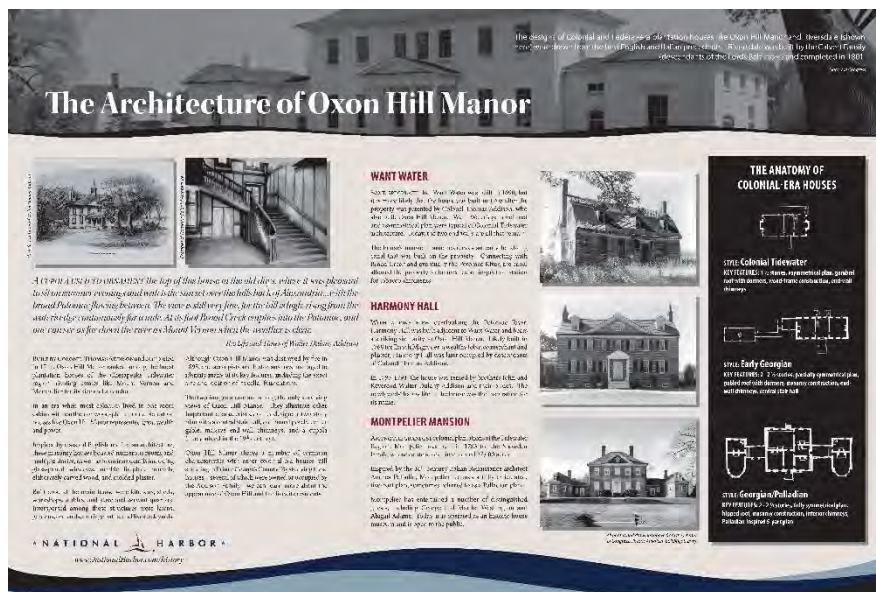
Interpretive Signage

Comment: Interpretive signage: ensure oversight and be respectful of the site and its history.

Response: EHT Tracerics will prepare interpretive signage based on documentation from the historic research and archaeological investigations. Tracerics will submit draft and final signage for review by the City of Alexandria staff to include comments on text, images selected, and layout. Full-scale mockups of the signage will also be submitted for review prior to the fabrication of signage on site.

Tracerics has prepared numerous interpretive signs over the years. We work closely with staff to ensure products have been reviewed and edited prior to fabrication. The resulting interpretive panels are informative, well-designed, and well-written. Depending on subject matter and audience these signs have been mostly graphic in nature or been text heavy – we will work with staff to formulate signs that are visually interesting and informative.

Below is an example of a sign we developed at National Harbor. Additional examples will be shared at the meeting.



Oral History

Comment: Oral histories with early residents when neighborhood was called Uptown. Gets to aspects of social history of the neighborhood.

Response: EHT Tracerics will assist the developer in identifying potential long-term residents of the Homes and Uptown to better understand the social history of the neighborhood. The team will consult with city staff and will build upon the oral histories completed as part of the Ramsey Homes redevelopment project. This may also include interviews with relatives or associates of architect Joseph Saunders to provide a fuller understanding of Saunderson's career and the architecture of the Samuel Madden Homes.

Joseph Saunders, Jr.

Comment: Are other buildings by Joseph Saunders protected. How many other buildings did Saunders design and when do the Madden Houses become really significant?

Response: EHT Tracerics is currently preparing a report documenting the history of the site and the Samuel Madden Homes and will also be preparing HABS documentation. As part of this work, we are undertaking more in-depth research of the life and career of architect

Joseph Saunders, Jr. to provide a better understanding of where the Samuel Madden Homes fit within the context of his career.

Based on preliminary findings, we know that Joseph H. Saunders, Jr. practiced independently and in partnership with other firms and designed a range of building types during his career that included public housing, institutional buildings, schools, churches, and commercial developments. Within the overall context of Joseph Saunders' career, the Samuel Madden Homes represents one of his earlier projects in Alexandria and demonstrates the modest and cost-effective interpretation of the Colonial Revival Style that marked his other wartime government projects, such as the prefabricated school building at Old Glebe Road (1943, demolished) and the community center at Chinquapin Village (1943, demolished). Despite their traditional form and use of brick cladding, the buildings are modern and functional, lacking excessive historicist ornamentation, and the site planning is in keeping with the Garden City approach that influenced other public housing projects of the era. After the war, Saunders began to explore the modernist aesthetic through celebrated private sector and institutional commissions such as the Church of St. Clement in Alexandria (1949) and the National Education Association headquarters in Washington (1958).

Impact on the Historic District

Comment: 13 buildings– 66 units – how does the removal of these buildings impact the integrity of the historic district and historic landscape. How many acres are involved?

Response: The proposed project involves demolition of the Samuel Madden Homes, including 13 buildings on 3.44 acres. The buildings are contributing resources to the Uptown/Parker-Gray Historic District, which is listed in the National Register of Historic Places (NRHP) and is a designated City of Alexandria Historic District (local). The boundaries of the NRHP and local historic districts vary slightly. The NRHP Historic District encompasses 201.6 acres and includes a total of 984 contributing buildings and 325 non-contributing buildings. The local historic district is slightly smaller, encompassing approximately 40 blocks and including 1,210 buildings.

The period of significance of the NRHP historic district extends from circa 1810 to 1959. According to the City of Alexandria Parker-Gray Design Guidelines, the Period of Significance for the local historic district is 1810 to 1931. Buildings constructed before 1931 are considered “early” buildings while those constructed in 1932 or later are considered “late” buildings.¹ The Samuel Madden Homes are classified as “late” buildings.

¹ <https://media.alexandriava.gov/docs-archives/planning/info/historic=preservation/policies/adopted-pg-5.25.16-how-to.pdf>



As seen in the above map, the Samuel Madden Homes are located at the northwestern most boundary line of the local historic district. The property is surrounded by new large-scale development including the redeveloped James Bland Homes site (Old Town Commons) to the east and new multi-family developments to the west outside the local historic district. The Charles Houston Recreation center and a mix of low-scale contributing and non-contributing buildings are located to the south of the development area.

The Samuel Madden Homes are essentially located on an island within the historic district, surrounded by contemporary large developments that do not contribute to the historic district. The integrity of this area of the historic district, particularly its setting, is diminished. The demolition and redevelopment of the Samuel Madden Homes will have minimal negative impacts on the integrity of the historic district as a whole, impacting only 13 of the 1,210 buildings located within the local historic district.

The NRHP Historic District documentation identifies four groups of public housing developments within the Uptown/Parker-Gray Historic District including the Samuel Madden Homes (1944), the James Bland Homes (1954, demolished), the Ramsey Homes (1942, demolished), and Jefferson Village (1988). Perhaps the best extant example in Alexandria is the remaining George W. Parker Homes (1942), located outside of the Uptown/Parker-Gray Historic District on two blocks bounded by Princess, Pendleton, Royal, and Fairfax Streets. While a limited resource type within the Uptown/Parker-Gray Historic District, many examples of World War II-era public and workforce housing developments are extant and protected within the region. During World War II, the National Housing Agency and FHPA strove to remedy the shortfall of worker housing in the Washington area, seen at the time as an emergency with implications for the overall effectiveness of the war effort. These developments were usually designed in keeping with the Garden City approach, including buildings set in a park like setting, and many were designed in the Colonial Revival Style promoted by the FHA. All developments were segregated by race. Additional research is being performed to identify extant

World War II-era housing developments for African Americans. A few examples of comparable and protected housing developments constructed for African Americans in the World War II-era in the region include:

- Mayfair Mansions, Washington, DC (1946)
- Langston Terrace Dwellings, Washington, DC (1938)
- Aberdeen Gardens, Hampton, VA (1934)
- St. James Mutual Homes, Washington, DC (1939)
- Turner Station, Baltimore County, MD
 - o Day Village, Dundalk, MD (1944)
 - o Ernest Lyon Homes, Baltimore County, MD (1942)
- Barry Far, Washington, DC (1942) (NRHP listing pending)
-

Others that are not currently protected include the partially extant George W. Parker Homes in Alexandria (1942), Frederick Douglass Homes (DC, 1940), James Creek Houses (DC, 1942), and Kelly Miller Homes (DC, 1941).

Alternatives

Prior to the issuance of the RFP for selecting a redevelopment partner in 2020, ARHA performed an analysis of options for the redevelopment of the Samuel Madden Homes. As part of its analysis, ARHA reviewed the amount of capital funds expended, the number of maintenance calls received, and other funds expended on the property over the previous five-year period. ARHA came to the conclusion that given (1) the age of the buildings and their systems, (2) the unit design as compared to the building codes, and (3) a certain threshold level of comfort and livability, that it would be more economical and financially feasible to demolish the buildings and build completely new structures. Specifically, the cost of preserving and renovating the existing buildings and bringing them up to then-current code requirements was prohibitively expensive as compared to new construction.

In addition, in order to rebuild the number of existing units that are affordable to households earning at or below 30% of the Area Median Income (AMI), the density of the site must be increased to the extent where the demolition of the existing buildings is the only viable path. Furthermore, in order to achieve the levels of affordability desired by ARHA and other local stakeholders (to both double the number of units affordable at or below 30% AMI, and where the combination of any new units would target roughly one-third at or below 30% AMI, one-third affordable between 50-60% AMI, and one-third market), redevelopment of the entire site is needed to accommodate the necessary density.

The existing Samuel Madden Homes built between 1944 and 1945 as thirteen two-story brick apartment buildings over two blocks were developed during a period of urban renewal in north Alexandria that saw the construction of other public housing complexes, such as John Roberts Homes (1942), George Parker Homes (1942), Ramsey Homes (1942), and James Bland Homes (1954, 1959). Samuel Madden Homes was designed in accordance with Garden City site planning principles, which was seen in residential apartment design beginning in the 1920s, and is often associated with Colonial Revival in the D.C. area. The demolition of the existing thirteen buildings would represent a relatively small number out of the remaining buildings originally designed in the Garden City style in Alexandria and the rest of the D.C. area.